


**CITY OF BELMONT
MEMORANDUM**



TO: Planning Commission

FROM: Rob D. Gill, Assistant Planner 

VIA: Carlos de Melo, Community Development Director

SUBJECT: January 4, 2011 Planning Commission Meeting - Agenda Item 5A
Single Family Design Review – Request for Extension of Approval
Address: 1501 Folger Drive; APN: 044-351-200; Appl. No. 2010-0059

SUMMARY

The property owners, Frederick & Laurie De Martini, request an extension of the Planning Commission approval of a Single Family Design Review (SFDR) to construct a 1,089 square foot addition to the existing 1,913 square foot single-family residence. The project will bring the total square footage of the residence to 2,412 square feet (3,500 sq. ft. maximum building size permitted for this site).

BACKGROUND

- On July 21, 2009, the Planning Commission approved (by a vote of 5-1) the subject Single Family Design Review request.
- On September 25, 2009, the applicants/owners submitted plans and a building permit application; this permit has not yet been issued.

SITE CONDITIONS

The subject property is located in a single-family neighborhood developed primarily with one and two-story single-family homes with stucco and wood exterior finishes. The 10,117 square foot lot is irregular in shape with a moderate upslope from the front (south) to the rear (north) of the lot with an average slope of 12%.

The site is currently landscaped with ground cover, and a variety of bushes and trees. Existing site improvements include: a two-car driveway, a rear concrete patio, small retaining walls within the side and rear yard areas, and fences surrounding the sides and rear of the site.

Existing Dwelling Floor Area/Layout

The existing 1,913 square foot single story dwelling consists of a foyer, kitchen, living and family rooms, three bedrooms, two bathrooms, garage and laundry closet.

Proposed Dwelling Modifications

The proposed 1,089 square foot addition and remodel to the single-story dwelling consists of the following:

- Eliminating a bedroom and converting this space to an expanded kitchen
- Eliminating the kitchen and converting this space to a dining area
- Converting the family room back to the original garage.
- Removing the attached non-conforming single-car garage and master suite
- Adding a master suite, bath, closet, bedroom, bathroom, laundry area, and linen closet.
- Remodeling the existing front covered porch/entry area.

Dwelling Floor Area Summary Cont.	
Proposed Square Footage	Proposed Modifications/Additions
Proposed Floor Area – 1,089 sq. ft. Existing/Remaining Floor Area – 1,323 sq. ft. Total Gross Floor Area = 2,412 sq. ft.	<ul style="list-style-type: none"> ○ Existing kitchen converted to a dining area ○ Removing the attached non-conforming single-car garage and master suite. ○ Converting the family room back to the original garage ○ Adding a master suite with bath and closet, bedroom, bathroom, and laundry and linen closets.

See Attachment IV – July 21, 2009 Planning Commission staff report for additional background information for the project.

On September 25, 2009, the property owners/applicants submitted plans and a building permit application for the subject project. However, the property owners/applicants have indicated that they have not been able to secure financing to build the addition. They are hoping to obtain financing and start their project later this year. The applicants/owners are requesting their first extension of the SFDR entitlement. The applicable Zoning Ordinance statutes for extension approvals are as follows:

Section 10.5 APPLICATIONS - EXTENSION OF TIME

10.5.1 EXTENSION OF TIME - The Planning Commission may grant up to two 1-year extensions of the expiration dates for variance, conditional use, design review, and exception permits if originally granted upon making the following findings:

- (a) *The governing regulations under which the permit was originally approved have not changed in a way that have established different findings, development standards, or evaluation criteria.*

- (b) *The applicants have presented a reasonable explanation of the delay in completing the project and have demonstrated intent to complete the project within the next year.*
- (c) *The surrounding neighborhood conditions and site characteristics have not changed in a way that would no longer provide a factual basis for positively reaffirming the original findings.*

Section 10.5 allows the Planning Commission to extend planning approvals it originally granted. Such extension is not required to be requested before, or granted prior to the one-year deadline. The Commission has approved, within the last three years, extension requests for Single Family Design Review projects for two vacant lots on Naughton Avenue, at 2007 Bishop Road, 2612 Hallmark Drive, 1519 Ridge Road, 210 Alameda de las Pulgas, 2847 San Juan Boulevard and a Conditional Use Permit & Design Review for 600 Clipper Drive.

CONCLUSION

Staff has reviewed the request in light of the required findings and found:

- Applicable statutes have not changed via establishment of different findings, standards, or general evaluation criteria.
- The applicant has provided a reasonable explanation for the delay. Staff further believes the applicant shows intent to obtain project permits and complete construction within the next year. The applicants have submitted plans and a building permit application for the subject project.
- There have been no significant changes to the surrounding Folger Drive neighborhood in the past year. There have been no new Planning Commission approvals for projects in the general vicinity on the subject property. No other recent building permits (for significant additions/modifications) or zoning entitlements within the last year have been issued for properties within 300 feet of the subject site. There have also been no changes to the characteristics of the project site.

Staff believes an extension is warranted. Should the Commission grant the extension, the SFDR entitlement would be valid until July 21, 2011 (or less time as deemed appropriate by the Commission), unless a building permit has been issued before then or a second extension is requested and approved. In conclusion, staff believes the findings for granting an extension (Section 10.5.1. a-c) can be made in the affirmative.

ATTACHMENTS

- I. Resolution approving extension of Single Family Design Review
- II. July 21, 2009 Conditions of Approval
- III. Reduced project plans (8.5" x 11")
- IV. July 21, 2009 Planning Commission staff report (no additional attachments)

RESOLUTION NO. 2011-___

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BELMONT
APPROVING AN EXTENSION OF A SINGLE FAMILY DESIGN REVIEW
FOR 1501 FOLGER DRIVE (APPL. NO. 2010-0059)

WHEREAS, Frederick & Laurie De Martini, property owners, request an extension of the Planning Commission approval of a Single Family Design Review to add a 1,089 square foot addition to the existing 1,913 square foot residence (590 sq. ft. of floor area to be removed) for a total of 2,412 square feet; and,

WHEREAS, the Planning Commission of the City of Belmont finds the project to be Categorically Exempt pursuant to the California Environmental Quality Act, Section 15303; and,

WHEREAS, the Planning Commission hereby adopts the staff memorandum dated January 4, 2011 and the facts contained therein as its own findings of facts; and,

WHEREAS, The Planning Commission has considered the applicant's request for an extension of the Single Family Design Review entitlements and finds the required findings per Section 10.5.1 (a-c) (Extension of Time) are made in the affirmative as follows:

(a) *The governing regulations under which the permit was originally approved have not changed in a way that have established different findings, development standards, or evaluation criteria.*

The applicable Single Family Design Review statutes have not significantly changed within the last year such that different findings, development standards, or evaluation criteria have been established. This finding is affirmed.

(b) *The applicants have presented a reasonable explanation of the delay in completing the project and have demonstrated intent to complete the project within the next year.*

The applicant has provided a reasonable explanation for the delay. The applicants have also submitted plans and a building permit application for the subject project. The applicant shows intent to obtain project building permits and commence the development within the next year. This finding is affirmed.

(c) *The surrounding neighborhood conditions and site characteristics have not changed in a way that would no longer provide a factual basis for positively reaffirming the original findings.*

There have been no significant changes to the surrounding Folger Drive neighborhood in the past year. There have been no new Planning Commission approvals for projects in the general vicinity on the subject property. No other recent building permits (for

significant additions/modifications) or zoning entitlements within the last year have been issued for properties within 300 feet of the subject site. There have also been no changes to the characteristics of the project site. This finding is affirmed.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Belmont hereby extends Single Family Design Review approval to add a 1,089 square foot addition to the existing 1,913 square foot residence (590 sq. ft. of floor area to be removed) for a total of 2,412 square feet at 1501 Folger Drive, to July 21, 2011, subject to the conditions in the attached Exhibit "A".

* * * * *

I hereby certify that the foregoing resolution was duly and regularly passed and adopted by the Planning Commission of the City of Belmont at a regular meeting held on January 11, 2011 by the following vote:

AYES,
COMMISSIONERS: _____
NOES,
COMMISSIONERS: _____
ABSENT,
COMMISSIONERS: _____
ABSTAIN,
COMMISSIONERS: _____
RECUSED,
COMMISSIONERS: _____

Carlos de Melo
Planning Commission Secretary

EXHIBIT "A"

CONDITIONS OF PROJECT APPROVAL SINGLE FAMILY DESIGN REVIEW 1501 FOLGER DRIVE (APPL. NO.2009-0020)

- I. COMPLY WITH THE FOLLOWING CONDITIONS OF THE COMMUNITY DEVELOPMENT DEPARTMENT:
 - A. The following conditions shall be shown on plans submitted for a building permit and/or site development permit or otherwise met prior to issuance of the first building permit (i.e., foundation permit) and shall be completed and/or installed prior to occupancy and remain in place at all times that the use occupies the premises except as otherwise specified in the conditions:

Planning Division

1. Plans submitted for building permit and all construction shall conform to the plans on file in the Planning Division for Appl. No. 2008-0065 prepared by Bolinger Design Service, date stamped 7/9/09. The Director of Community Development may approve minor modifications to the plans.
2. All construction and related activities which require a City building permit shall be allowed only during the hours of 8:00 a.m. to 5:00 p.m. Monday through Friday, and 10:00 a.m. to 5:00 p.m. on Saturdays. No construction activity or related activities shall be allowed outside of the aforementioned hours or on Sundays and the following holidays: New Year's Day, President's Day, Memorial Day, 4th of July, Labor Day, Thanksgiving Day and Christmas Day. All gasoline powered construction equipment shall be equipped with an operating muffler or baffling system as originally provided by the manufacturer, and no modification to these systems is permitted.
3. Prior to issuance of building permits, the property owners shall file with the Director of Community Development, on forms provided by the City, an acknowledgment that they have read, understand and agree to these conditions of approval.
4. In accordance with the Belmont Zoning Ordinance, the permit(s) granted by this approval shall expire one (1) year from the date of approval, with said approval date indicated on the accompanying Planning Commission resolution. Any request for extension of the expiration date shall be made in accordance with the applicable provisions of the Belmont Zoning Ordinance.
5. In the event that this approval is challenged by a third party, the property owners and all assignees will be responsible for defending against this challenge, and agree to accept responsibility for defense at the request of the City. The property owners and all assignees agree to defend, indemnify and hold harmless the City of Belmont and all officials, staff, consultants and agents from any costs, claims or liabilities arising from the approval, including without limitation, any award of attorneys fees that might result from the third party challenge.

6. If any existing landscaping should be damaged during construction related activities, the applicant shall replace such landscaping in kind for the property, prior to issuance of a planning final. The applicant shall also prior to building permit issuance, provide photographs of the property to document existing landscape conditions.

Building Division

1. Prior to any construction, the applicant or a designated representative shall obtain all of the required building permits for the project. The applicant will be required to provide a construction and demolition-recycling plan as a condition of the building permit. The Building Department will inspect for compliance with this plan. The conditions of approval for this permit also require the applicant to perform all work in conformance with the NPDES requirements.
 2. The applicant shall submit a staging plan to ensure that all equipment and staging materials are stored within the property boundaries. No equipment or materials shall be located within the public right-of-way or the driveway/access easement
- II. COMPLY WITH THE FOLLOWING CONDITIONS OF THE PUBLIC WORKS DEPARTMENT:
- A. The following conditions shall be shown on plans submitted for a building permit and/or site development permit or otherwise met prior to issuance of the first building permit (i.e., foundation permit) and shall be completed and/or installed prior to occupancy and remain in place at all times that the use occupies the premises except as otherwise specified in the conditions.
 1. Streets, sidewalks and curbs in need of repair within and bordering the project shall be repaired and/or removed and replaced in accordance with the Department of Public Works approved standards. Photographs or video of before condition are recommended.
 2. Roof leaders and site drainage shall be directed to the City stormwater drainage system. A dissipator box or other energy reduction method shall be used.
 3. Roof downspout systems shall be designed to drain into designated, effective infiltration areas or structures (refer to the Bay Area Stormwater Management Agencies Association (BASMAA) Start at the Source Design Guidance Manual for Stormwater Quality Protection [available from BASMAA @ 510-622-2465]).
 - B. The following conditions shall be met prior to the issuance of the first building permit (i.e., foundation permit) and/or site development permits except as otherwise specified in the conditions.
 1. The property owner/applicant shall apply for and obtain temporary encroachment permits from the Department of Public Works for work in the City public right-of-way, easements or

property in which the City holds an interest, including driveway, sidewalk, sewer connections, sewer clean-outs, curb drains, storm drain connections, placement of a debris box.

2. Prior to the issuance of building permits for the project, the owner/applicant shall provide calculations for all cut and fill grading volumes to determine if a grading plan (per City Public Works standards) is required.
3. Property owner/applicant shall apply for and obtain a grading permit from the Department of Public Works. The grading permit fee is based on the total amount of earth moved including cut and fill.
4. Verify location of utility meters, valves, back flow preventers, and hydrants with appropriate utility company. Show relationship of each to site improvements, such as retaining walls.
5. The owner/applicant shall submit a dust control plan for approval by the Department of Public Works. To reduce dust levels, exposed earth surfaces shall be watered as necessary. The application of water shall be monitored to prevent runoff into the storm drain system. Spillage resulting from hauling operations along or across any public or private property shall be removed immediately. Dust nuisances originating from the contractor's operations, either inside or outside of the right-of-way shall be controlled.
6. The owner/applicant shall perform a video inspection of the sewer lateral from the house/building to the sewer main, submit the inspection to the Department of Public Works for review and make any necessary repairs to the lateral.
7. Sanitary sewer to include a back flow prevention device.
8. If grading quantity (combine cut and fill) exceed fifty (50) cubic yards, the owner/applicant shall submit a grading plan prepared by a California-registered Civil Engineer in accordance with City Grading Ordinance, Chapter 9, Section 3 of the City Code, with a grading permit application, for approval by the Department of Public Works and Building Division prior to any grading or clearing being performed on-site.
 - a. The applicant should note that if the proposed grading meets one or more of the criteria outlined in Section 9-23 of the City Code, a Planning Commission review will be required. Caution: If the total grading quantity changes after Planning Commission approval, a new grading approval may be required. The applicant may choose to complete the grading plan and calculations early in the planning process to limit delays in scheduling this review. (See Section 9-28 of City Code for review process). The plan shall incorporate the following restrictions:
 - b. All soils stockpiled on the site during construction shall be covered or otherwise protected from wind and water erosion.
 - c. During construction, erosion and sedimentation control plans shall be implemented in order to retain sediments on-site.
 - d. Site grading and finished construction shall be designed and executed in such a manner as to avoid diverting runoff onto other properties.

- e. Restrictions and recommendation of the Geologic and Soils report as approved by the City's Geologist.
9. All plans shall conform to the requirements of the City NPDES stormwater discharge permit and the San Mateo Stormwater Pollution Prevention Plan (STOPPP). The project plans shall include permanent storm water quality protection measures. The project plans shall identify Best Management Practices (BMPs) appropriate to the uses to be conducted on-site to effectively prohibit the discharge of pollutants with storm water run-off. A Maintenance and Operation Agreement shall be prepared by applicant incorporating the conditions of this section
 10. If PG&E is requiring the developer to put in the gas and/or electrical connection, then the developer must submit plans for the encroachment to the Department to Public Works
 11. The applicant shall submit an erosion and sedimentation control plan describing Best Management Practices (BMPs) to be used to prevent soil, dirt, and debris from entering the storm drain system. The plan shall include the following items:
 - a) A site plan showing the property lines, existing and proposed topography, and slopes; areas to be disturbed, locations of cut/fill and soil storage/disposal area; areas with existing vegetation to be protected; existing and proposed drainage patterns and structures; watercourses or sensitive areas on-site or immediately downstream of project; and designated construction access routes, staging areas and washout areas.
 - b) Erosion and sediment controls to be used during construction, selected as appropriate from the California Regional Water Quality Control Board, San Francisco Bay Region Erosion and Sedimentation Control Field Manual (available from: Friends of the San Francisco Estuary, P.O. Box 791, Oakland, CA 94604-0791.
 - c) Methods and procedures to stabilize denuded areas and install and maintain temporary erosion and sediment control continuously until permanent erosion controls have been established.
 - d) Provision for preventing erosion and trapping sediment on-site, such as sediment basins or traps, earthen dikes or berms, fiber rolls, silt fence, check dams, storm drain inlet protection, soil blankets or mats, covers for soil stock piles and/or other measures.
 - e) Provisions for installing vegetative cover in disturbed areas, including areas to be seeded, planted, and/or mulched, and types of vegetation proposed.
 - f) Provision for diverting on-site runoff around exposed areas and diverting off-site runoff around the project site (e.g., swales and dikes).
 - g) Notes, specifications, and/or attachments describing the construction, operation and maintenance of erosion and sediment control measures, including inspection frequency; methods and schedule for grading, excavation, filling clearing of vegetation and storage and disposal of excavated or cleared material; types of vegetative cover and mulch, including methods and schedules for planting and fertilization; and provisions for temporary and permanent irrigation.

- C. The following conditions shall be met prior to occupancy except as otherwise specified in the conditions.
1. The owner/applicant shall ensure that applicable Best Management Practices (BMPs) from the San Mateo Stormwater Pollution Prevention Program (STOPPP) are followed to prevent discharge of soil or any construction material into the gutter, stormdrain system or creek.
 2. Grading shall be performed in accordance with the City Grading Ordinance, Chapter 9 of the City Code. Soil or other construction materials shall not be stockpiled in the public right-of-way unless an encroachment permit is obtained from the Department of Public Works. Grading shall neither be initiated nor continued between November 15 and April 15. Grading shall be done between the hours of 8:00 a.m. and 5:00 p.m., Monday through Friday unless otherwise specifically authorized by the Director of Public Works. The Stormwater Pollution Prevention Program Best Management Practices (BMPs) for construction shall be implemented to protect water quality.
 3. The owner/applicant shall ensure that all construction personnel follow standard BMPs for stormwater quality protection during construction of project. These includes, but are not limited to, the following:
 - a) Store, handle and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - b) Control and prevent the discharge of all potential pollutants, including solid wastes, paints, concrete, petroleum products, chemicals, washwater or sediment, and non-stormwater discharges to storm drains and watercourses.
 - c) Use sediment controls, filtration, or settling to remove sediment from dewatering effluent.
 - d) Do not clean, fuel, or maintain vehicles on-site, except in a designated area in which runoff is contained and treated.
 - e) Delineate clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses with field markers or fencing.
 - f) Protect adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching or other measures as appropriate.
 - g) Perform clearing and earth moving activities only during dry weather (April 15 through November 14).
 - h) Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
 - i) Limit construction access routes and stabilize designated access points.
 - j) Do not track dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
 4. If construction is not complete by the start of the wet season (November 15 through April 15), prior to November 15 the developer shall implement a winterization program to minimize the potential for erosion and sedimentation. As appropriate to the site and status of

REVISIONS	DATE	BY	DESCRIPTION

DRAWINGS PREPARED BY:
 PLANNERS
 EXAMINERS
 E.I.D. INSPECTORS
 REGISTERED ARCHITECTS
 3733 GREENMONT STREET
 BELMONT, CA 94610 (916) 795-3412

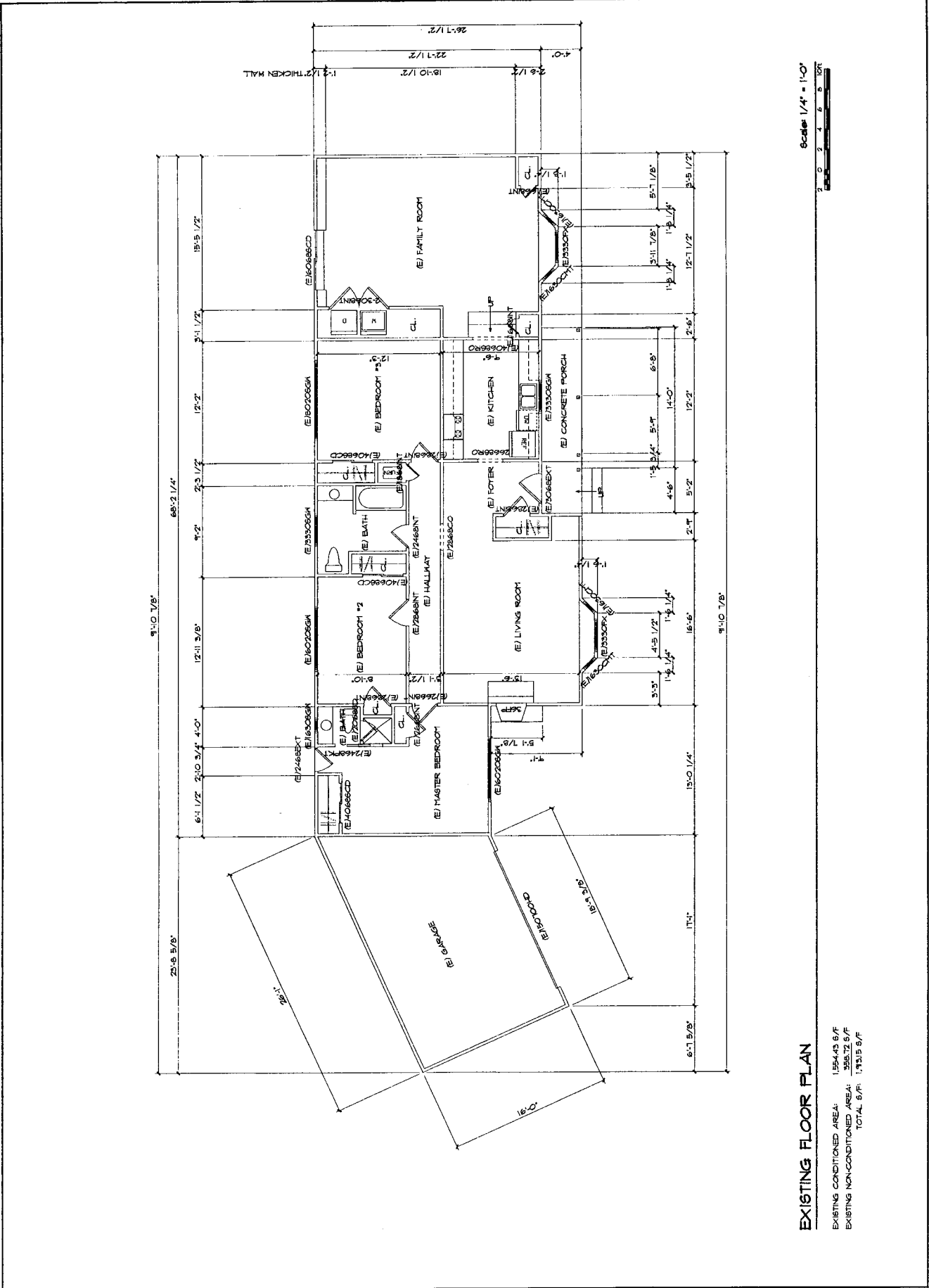


PROJECT TITLE:
 RESIDENTIAL IMPROVEMENT PLANS FOR:
 MURPHY & LAURIE MARTINI
 BELMONT, CA

1501 POLGER DRIVE
 BELMONT, CA

SHEET CONTENTS:
 EXISTING FLOOR PLAN

DATE: 2001 JAN 28	SCALE: 1/4" = 1'-0"
DRAWN: [Name]	CHECKED: [Name]
PROJECT NO: 000000	SHEET NO: 01



EXISTING FLOOR PLAN

EXISTING CONDITIONED AREA: 1,354.43 S/F
 EXISTING NON-CONDITIONED AREA: 355.72 S/F
 TOTAL S/F: 1,710.15 S/F

ALL DESIGN ARRANGEMENTS, SPECIFICATIONS AND PLANS ARE INDICATED BY THESE DRAWINGS AND OWNED AND THE SOLE PROPERTY OF BOUNSER DESIGN SERVICES, AND WERE CREATED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE PROJECT. ANY DESIGN, ARRANGEMENTS, SPECIFICATIONS OR PLANS SHALL NOT BE USED BY, OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN AUTHORIZATION FROM THE PRINCIPAL, OF BOUNSER DESIGN SERVICES.

REVISIONS	DATE	BY	DESCRIPTION

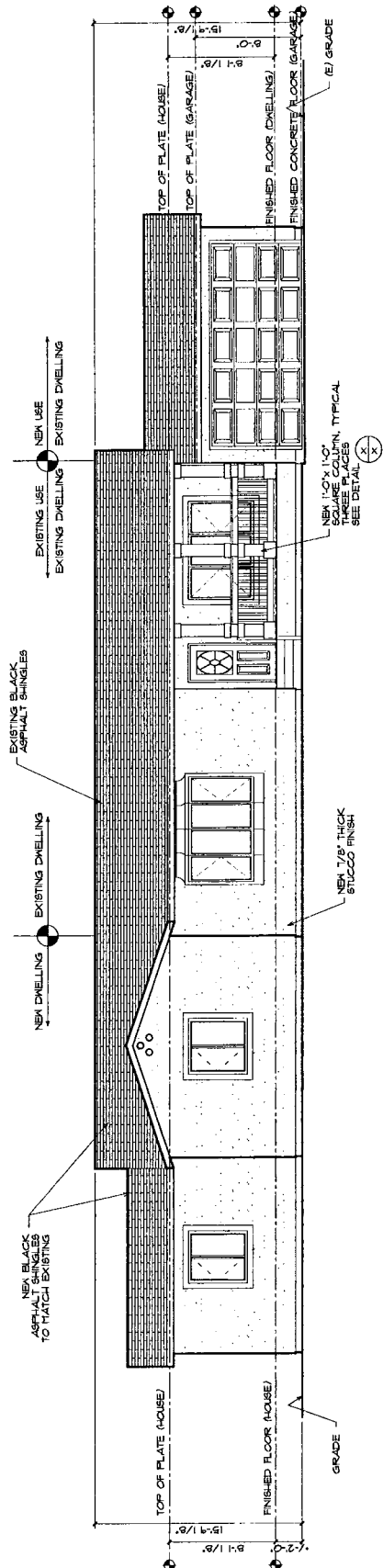
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BOLINER DESIGN
 PLANNING
 FLANS EXAMINERS
 BLDG. INSPECTORS
 (PROFESSIONAL SEAL)
 5723 GREENMOUNT STREET
 BELMONT, CA 94660 (916) 751-8142
 CONTRACT NO. 0000000000

BDS
 BELMONT, CA

PROJECT TITLE:
RESIDENTIAL IMPROVEMENT PLANS FOR:
MURPHY & LAURIE DETARTINI
 BELMONT, CA

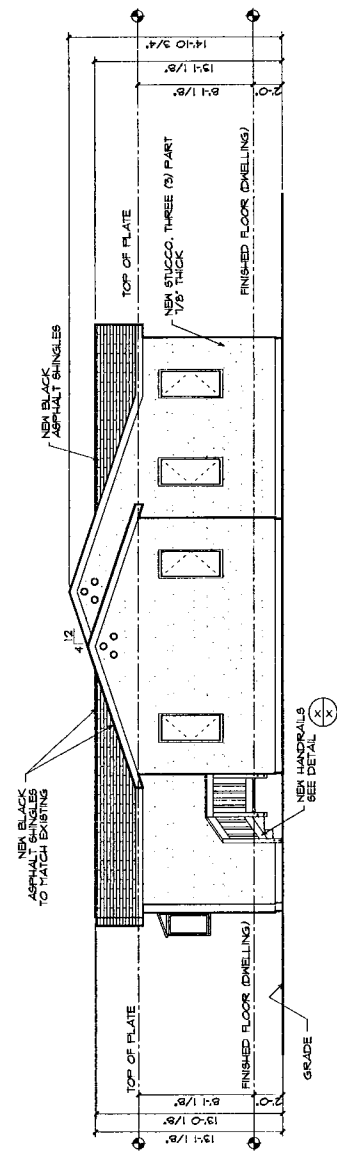
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 FRONT & LEFT
 ELEVATIONS
 1501 POLGER DRIVE
 BELMONT, CA

DATE: 28 JAN 2009
 DRAWN BY: [Signature]
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 PROJECT NO.: 0000000000
 SHEET NO.: **A2.1**
 OF 04



Scale: 1/4" = 1'-0"
 0 2 4 6 8 10 FT

FRONT ELEVATION



Scale: 1/4" = 1'-0"
 0 2 4 6 8 10 FT

LEFT ELEVATION

ALL DESIGN, ARRANGEMENTS, SPECIFICATIONS AND PLANS ARE OWNED BY THESE DRAWINGS AND SHALL NOT BE USED BY, OR DISCLOSED TO ANY THIRD PARTY OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN AUTHORIZATION FROM THE ARCHITECT, OR BOLINER DESIGN SERVICES.

ALL DESIGN, ARRANGEMENTS, SPECIFICATIONS AND PLANS ARE INDICATED BY THESE DRAWINGS AND OWNED AND THE SOLE PROPERTY OF BOLINGER DESIGN SERVICES, AND WILL BE USED BY, OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER, WITHOUT THE WRITTEN AUTHORIZATION FROM THE DESIGNER. BOLINGER DESIGN SERVICES, 5725 GREENBROOK STREET, NEWARK, CA 94560 (916) 751-1812

REVISIONS	DATE	DESCRIPTION

BOLINGER DESIGN SERVICES
 DRAWINGS PREPARED BY: [NAME]
 CHECKED BY: [NAME]
 DESIGNED BY: [NAME]
 PLANNING AND DESIGN: [NAME]
 BLDG. INSPECTORS: [NAME]
 CONTRACTOR: [NAME]

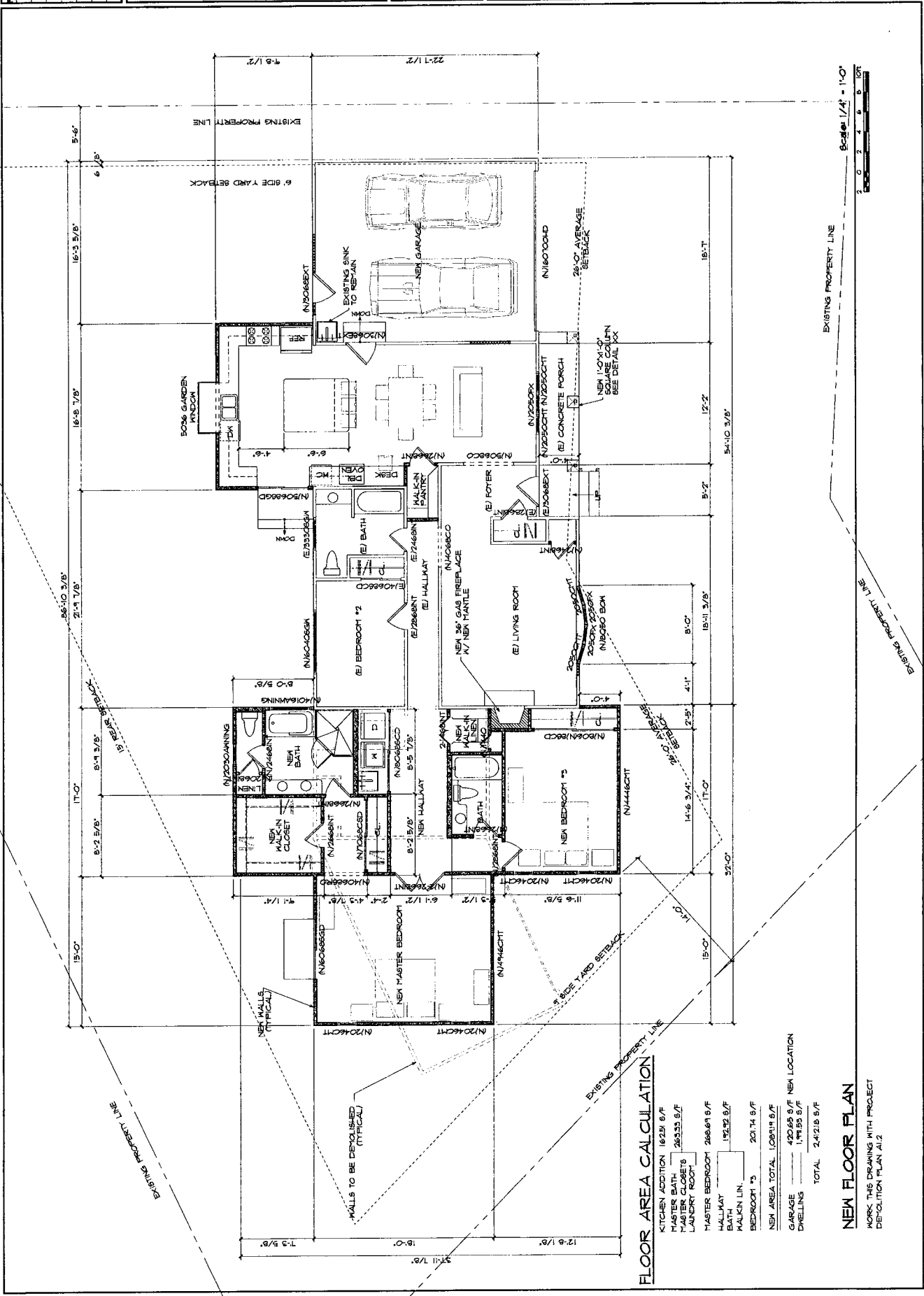
BDS
 5725 GREENBROOK STREET
 NEWARK, CA 94560 (916) 751-1812

PROJECT TITLE:
 RESIDENTIAL IMPROVEMENT PLANS FOR:
 MURPHY & LAURIE DE MARTINI
 BELMONT, CA

1501 POLGER DRIVE
 BELMONT, CA

SHEET CONTENTS:
 NEW FLOOR PLAN

DATE: 28 JAN 2009
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 CHECKED BY: [NAME]
 SHEET NO.: 000001
 TOTAL SHEETS: 03

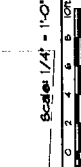


FLOOR AREA CALCULATION

KITCHEN ADDITION	16251.6/F
MASTER BATH	26333.6/F
MASTER CLOSET	17925.6/F
LAUNDRY ROOM	
MASTER BEDROOM	26681.9/F
BATH	17925.6/F
HALLWAY	20174.9/F
NEW WALLS	
NEW AREA TOTAL	108919.6/F
GARAGE	49028.8/F NEW LOCATION
DWELLING	17925.6/F
TOTAL	247218.6/F

NEW FLOOR PLAN

WORKS THIS DRAWING WITH PROJECT
 DETAIL PLAN A12



EXISTING PROPERTY LINE

EXISTING PROPERTY LINE

EXISTING PROPERTY LINE

EXISTING PROPERTY LINE

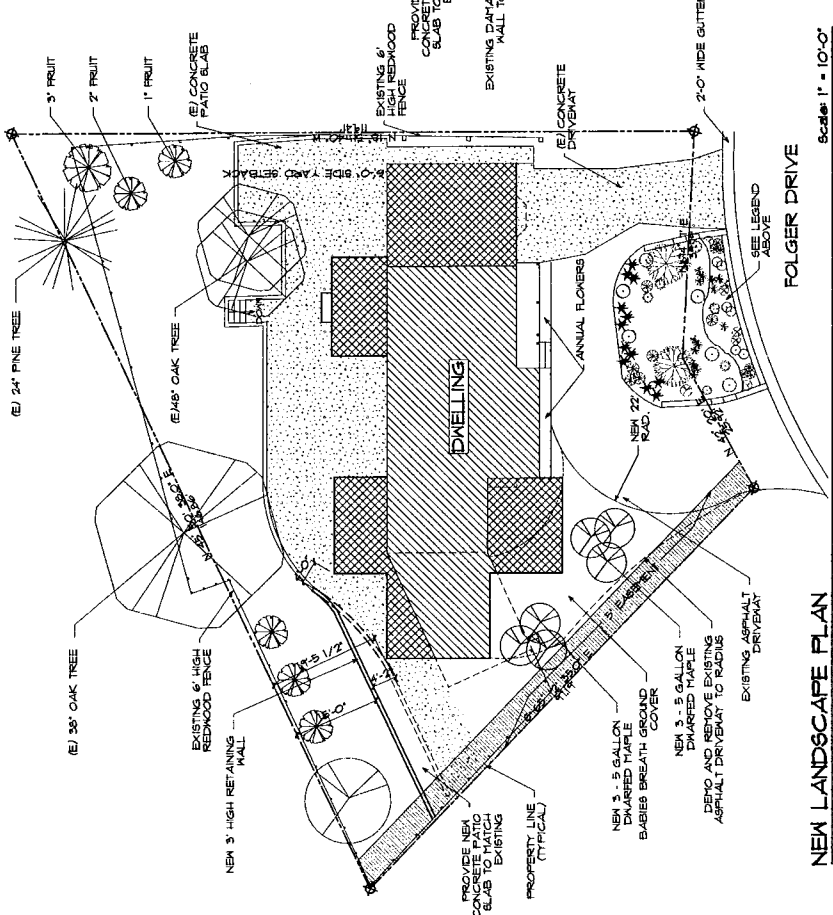
BRING PROPERTY LINE

HARDSCAPE ANALYSIS AS FOLLOWS:

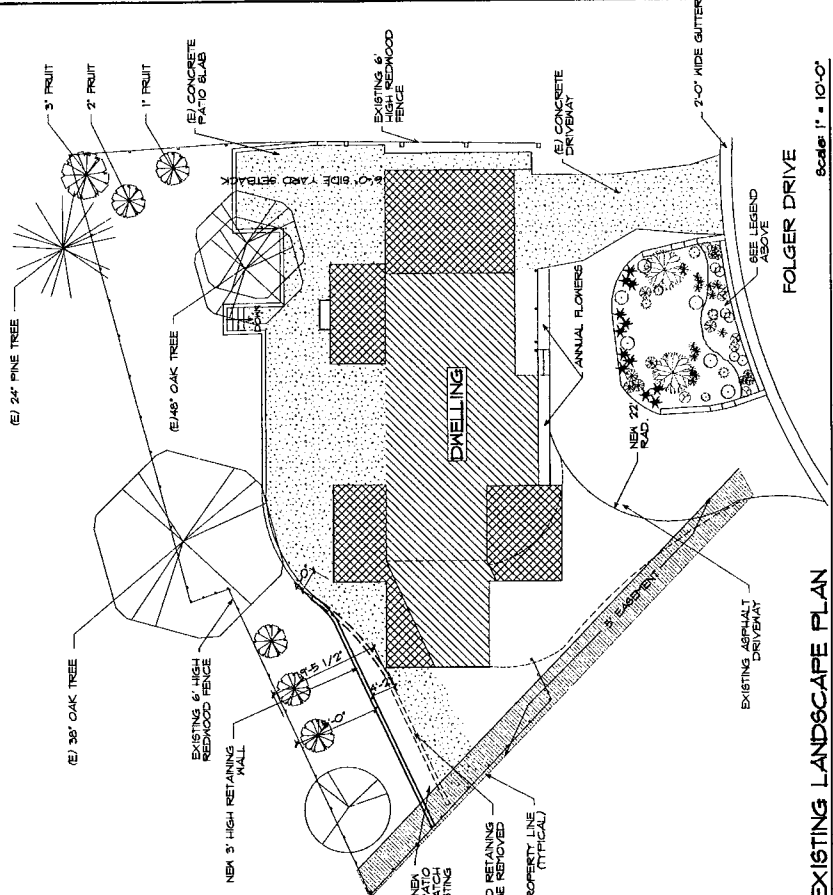
- EXISTING CONDITIONS:**
- CONCRETE RETAINING WALLS ----- 17'11" 5/8" --- NO CHANGE
 - CONCRETE FLAT WORK ----- 217'3" 1/8" 5/8" --- NO CHANGE
 - ASPHALT FLAT WORK ----- 1,411'7" 5/8" --- REDUCED 54,532 5/8"
 - DWELLING & PORCHES ----- 19'7" 1/8" 5/8" --- INCREASED 49'10" 5/8"
 - LAWN & LANDSCAPE ----- 4,354'2" 5/8" --- NET INCREASE 15,274 5/8"
 - TOTAL PROPERTY AREA ----- 10,110'1" 5/8"
 - 12 EXISTING TREES 4" DIA TO 35" DIA.
- NEW CONDITIONS:**
- CONCRETE RETAINING WALLS ----- 17'11" 5/8" --- NO CHANGE
 - CONCRETE FLAT WORK ----- 217'3" 1/8" 5/8" --- NO CHANGE
 - ASPHALT FLAT WORK ----- 1,411'7" 5/8" --- REDUCED 54,532 5/8"
 - DWELLING & PORCHES ----- 19'7" 1/8" 5/8" --- INCREASED 49'10" 5/8"
 - LAWN & LANDSCAPE ----- 4,354'2" 5/8" --- NET INCREASE 15,274 5/8"
 - TOTAL PROPERTY AREA ----- 10,110'1" 5/8"
 - 6 NEW TREES PLUS 12 EXISTING = 18 TREES IN TOTAL

LEGEND FOR PLANTER FRONT

	ERIOGONUM		PISTACIA TREE
	VERBENA		GAURA
	RUDECKIA		DARTILLIES
	TIBOUCHINA URVILLEANA		DAFFODILS
	ROSENMARY		
	RONEYA		
	LANTANA		



NEW LANDSCAPE PLAN
Scale: 1" = 10'-0"
5 0 10 20 30 40



EXISTING LANDSCAPE PLAN
Scale: 1" = 10'-0"
5 0 10 20 30 40